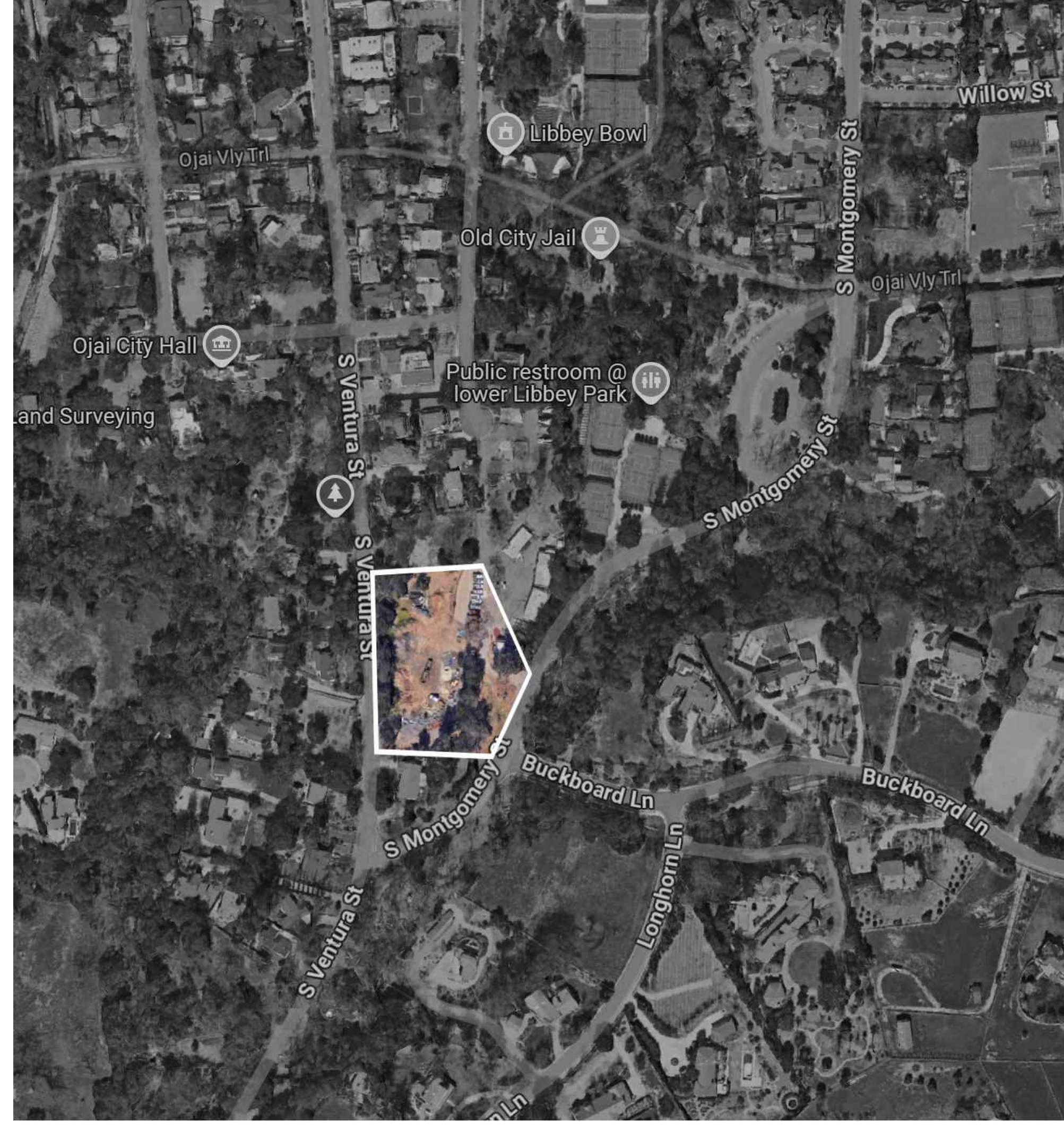


OJAI PERMANENT SUPPORTIVE HOUSING

CITY COUNCIL REVIEW SET | 14 MARCH 2025



VICINITY MAP



ENTRY FACADE



BIRD'S EYE LOOKING SOUTH

GENERAL NOTES	
1. DRAWING SET IS CONCEPTUAL IN NATURE AND SHALL NOT BE USED FOR CONSTRUCTION.	
SHEET INDEX	
ARCHITECTURAL	
T1	TITLE SHEET
A1.1	ARCHITECTURAL SITE PLAN
A2.1	FLOOR AND UNIT PLANS
A2.2	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS AND SECTIONS
A4.1	EXTERIOR MATERIALS
CONTACT LIST	
OWNER APPLICANT	
City of Ojai Lucas Seibert Community Development Director 805.646.5581 Lucas.seibert@ojai.ca.gov	
DEVELOPER	
Dignity Moves Maureen Boyer VP of Innovation Design 415.246.3510 maureen@dignitymoves.org	
ARCHITECT	
DJA Architects, PLLC Dylan Johnson, AIA 206.459.7027 dylan@djaarchitects.com	
CIVIL	
Jensen Civil Susanne Cooper, PE 805.633.2225 scooper@jdcivil.com	
LANDSCAPE	
Studio Landscape Corp. Kathy Nolan, ASLA 805.646.8384 kn@studio-landscape.com	

Ojai Permanent Supportive Housing
 Public Works Yard, Montgomery St, Ojai California

Drawn By: DJ
 Checked By: _____
 Job No. 2407

Revisions:

No.	Date	By

NOT FOR CONSTRUCTION

14 March 2025

Design Review

Title Sheet
T1

Ojai Permanent Supportive Housing
Public Works Yard, Montgomery St, Ojai California

Drawn By: DJ

Checked By: Job No. 2407

Revisions:

No. Date By

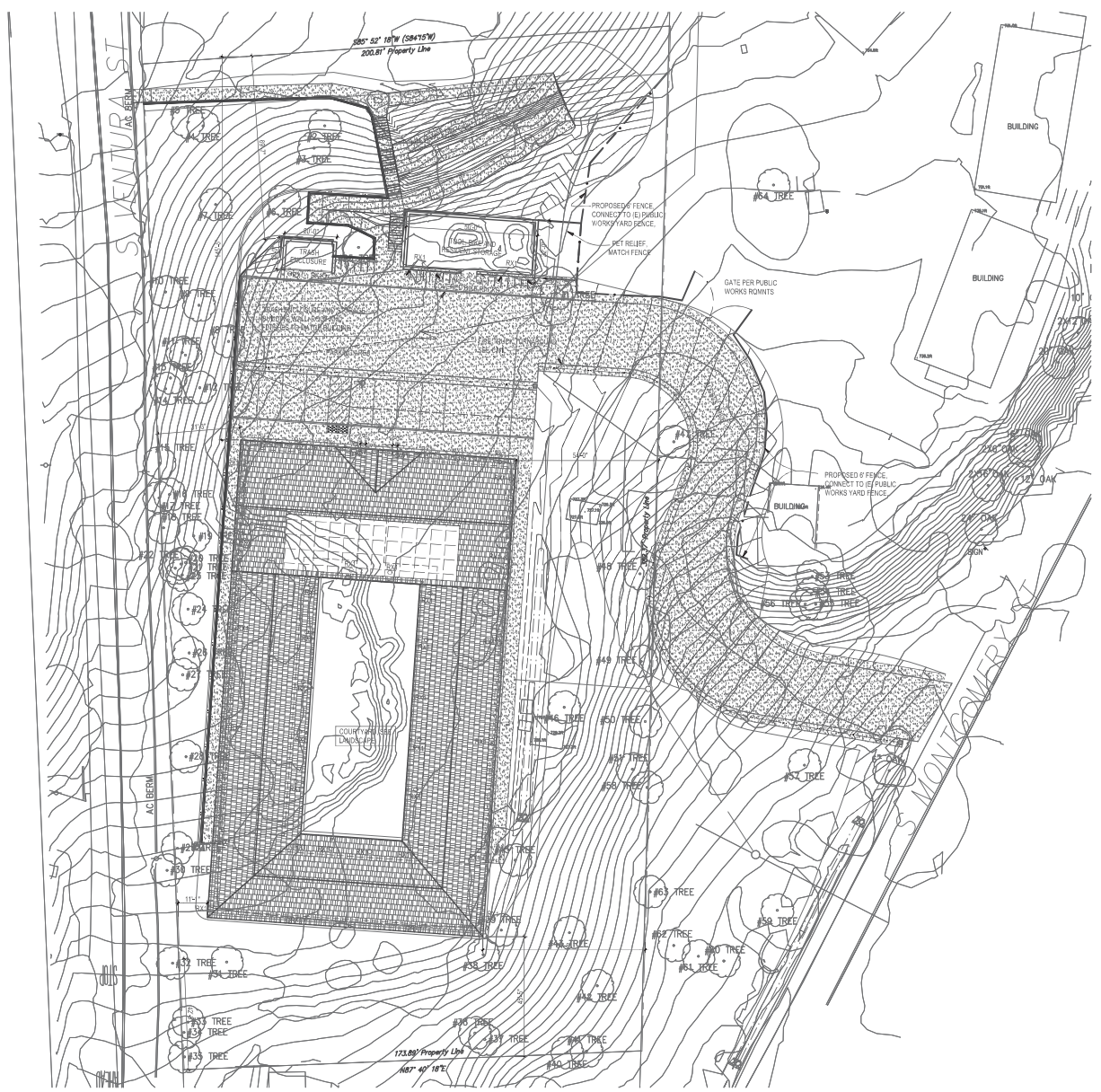
NOT FOR CONSTRUCTION

14 March 2025

Design Review

Architectural Site Plan

A1.1



EXTERIOR BUILDING LIGHTING SCHEDULE

TAG	DESCRIPTION	FIXTURE MFR	FIXTURE MODEL	LAMP	LUMENS	WATTS	VOLTS	CRI	COLOR TEMP	FINISH	MOUNTING INFO
RX1	SOFFIT LIGHT	TIAC	LOTOS 5"	LED	740	9 W	9 LINE	90	3000K	BLACK	18" FROM WALL
W1	ENTRY SCONCE	SAVOY HOUSE	HANCOCK 23	LED BULB	450	5 W	5 LINE	90	2700K	BRONZE	90° TO TOP OF FIXTURE



W1: ENTRY SCONCE



RX1: SOFFIT LIGHTS

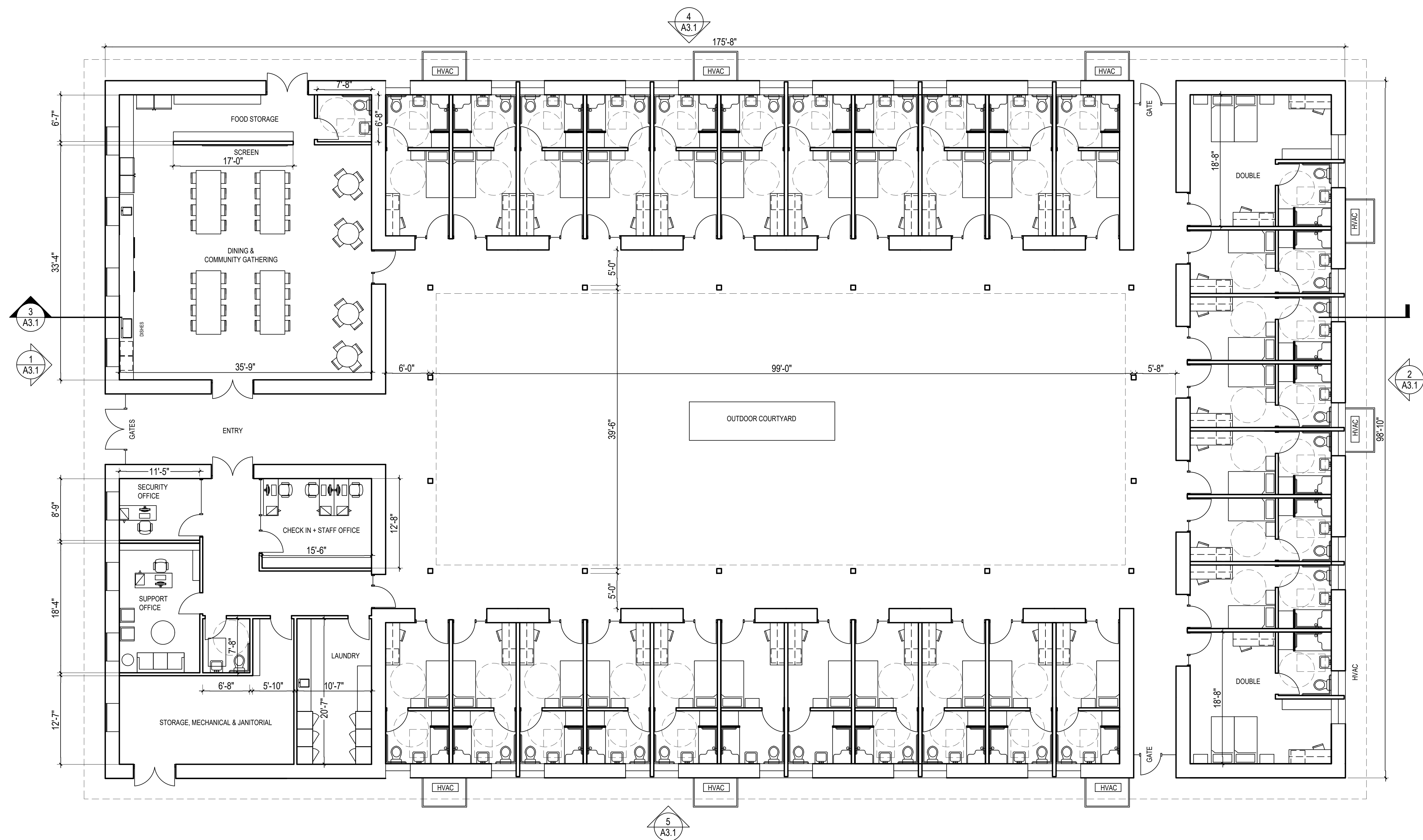
GENERAL NOTES
1. SEE CIVIL AND LANDSCAPE FOR ADDITIONAL SITE INFORMATION

ARCHITECTURAL SITE PLAN

1
A1.1

1" = 20'

1



Ojai Permanent Supportive Housing

Public Works Yard, Montgomery St, Ojai California

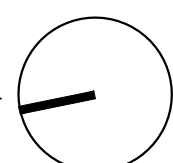
Drawn By: DJ
 Checked By:
 Job No. 2407
 Revisions:
 No. Date By

NOT FOR CONSTRUCTION
 16 MAY 2025
 DMA EXHIBIT

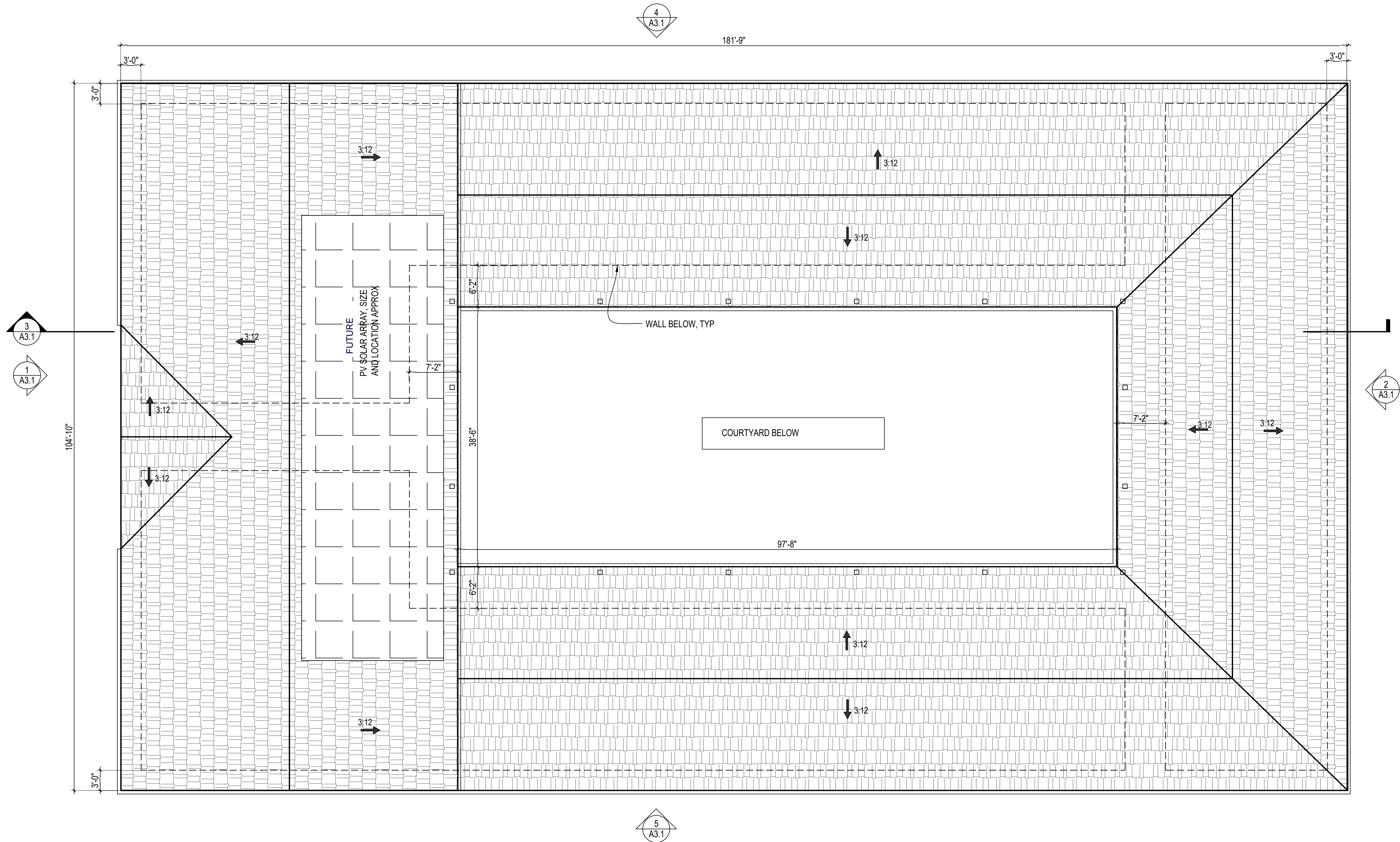
Floor Plan
A2.1

DRAWINGS ARE PRELIMINARY, NOT FOR CONSTRUCTION
 AND SUBJECT TO CHANGE AS THE DESIGN IS DEVELOPED
 FOR PERMIT AND CONSTRUCTION.

1 FLOOR PLAN
 1/8" = 1'-0"



Ojai Permanent Supportive Housing
Public Works Yard, Montgomery St, Ojai California



DRAWINGS ARE PRELIMINARY, NOT FOR CONSTRUCTION AND SUBJECT TO CHANGE AS THE DESIGN IS DEVELOPED FOR PERMIT AND CONSTRUCTION.

1 ROOF PLAN
A2.2 1/8" = 1'-0"

Drawn By: DJ
Checked By:
Job No. 2407

Revisions:

No.	Date	By

NOT FOR CONSTRUCTION
16 MAY 2025
DMA EXHIBIT

Roof Plan
A2.2



2 SOUTH ELEVATION
 A3.1 1/8" = 1'-0"



1 NORTH ELEVATION
 A3.1 1/8" = 1'-0"

UPPER RIDGE 18'-2"
 LOWER RIDGE 14'-2"
 TYP WINDOW & DOOR HEAD 7'-0" U.N.O.
 TOP OF SLAB 0'-0" REF SURVEY DATUM xxxx



3 SECTION LOOKING EAST
 A3.1 1/8" = 1'-0"

UPPER RIDGE 18'-2"
 LOWER RIDGE 14'-2"
 TYP WINDOW & DOOR HEAD 7'-0" U.N.O.
 TOP OF SLAB 0'-0" REF SURVEY DATUM xxxx



4 EAST ELEVATION
 A3.1 1/8" = 1'-0"

UPPER RIDGE 18'-2"
 LOWER RIDGE 14'-2"
 TYP WINDOW & DOOR HEAD 7'-0" U.N.O.
 TOP OF SLAB 0'-0" REF SURVEY DATUM xxxx



5 WEST ELEVATION
 A3.1 1/8" = 1'-0"

UPPER RIDGE 18'-2"
 LOWER RIDGE 14'-2"
 TYP WINDOW & DOOR HEAD 7'-0" U.N.O.
 TOP OF SLAB 0'-0" REF SURVEY DATUM xxxx

Ojai Permanent Supportive Housing
 Public Works Yard, Montgomery St, Ojai California

Drawn By: DJ
 Checked By:
 Job No. 2407
 Revisions:
 No. Date By

NOT FOR CONSTRUCTION
 16 MAY 2025
 DMA EXHIBIT

Exterior Elevations
 A3.1

DRAWINGS ARE PRELIMINARY, NOT FOR CONSTRUCTION AND SUBJECT TO CHANGE AS THE DESIGN IS DEVELOPED FOR PERMIT AND CONSTRUCTION.



WHITE LIME PLASTER EXTERIOR, DARK BRONZE DOWNSPOUTS, LIGHTING



CORDOBAN BROWN EXPOSED WOOD, SOFFITS



DARK BRONZE WINDOW FRAMES



HIGH BARREL STAGGERED CLAY TILE ROOF

Ojai Permanent Supportive Housing

Public Works Yard, Montgomery St, Ojai California

Drawn By: DJ
 Checked By:
 Job No. 2407

Revisions:

No.	Date	By

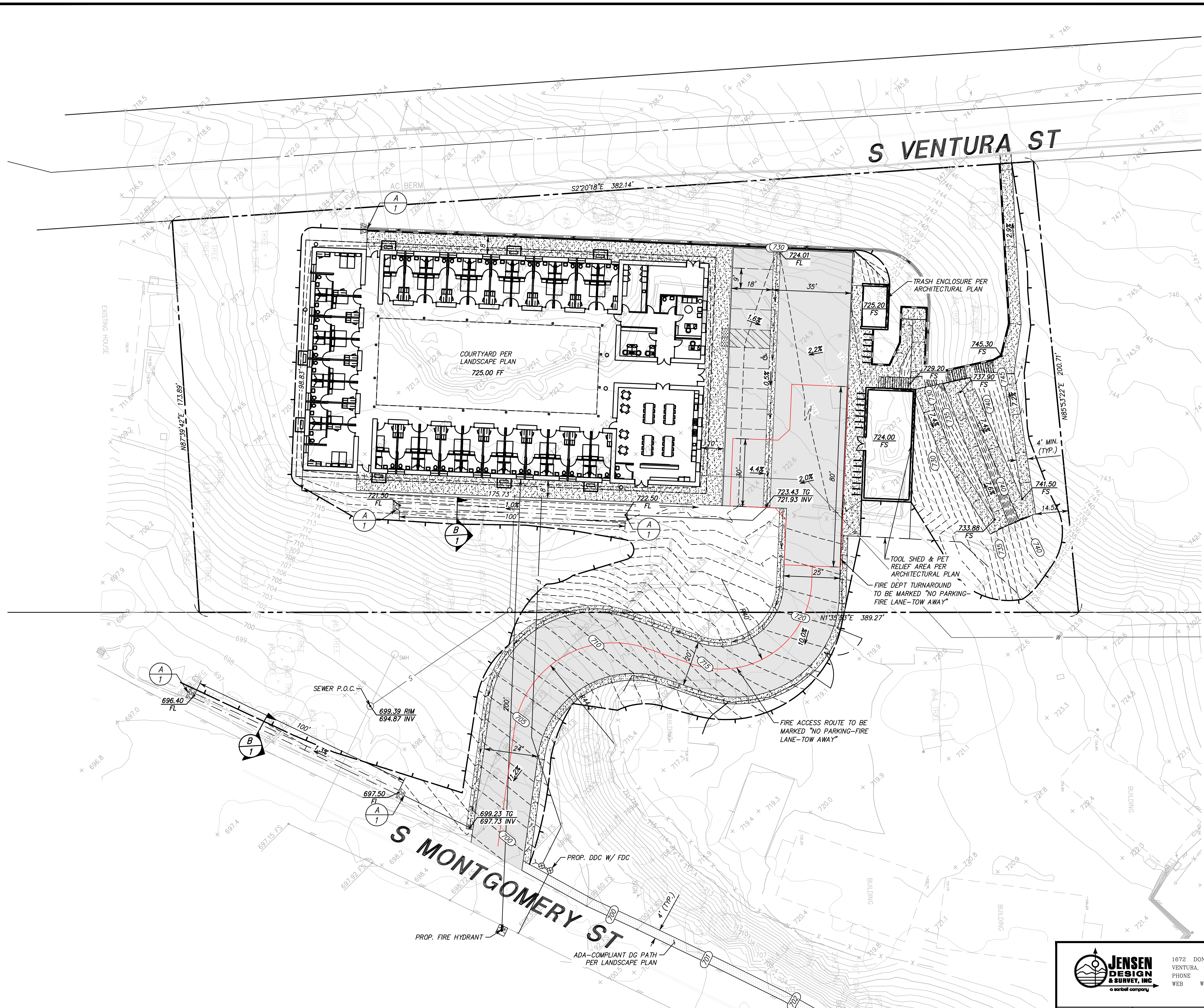
NOT FOR CONSTRUCTION

14 March 2025

Design
Review

Exterior
Materials

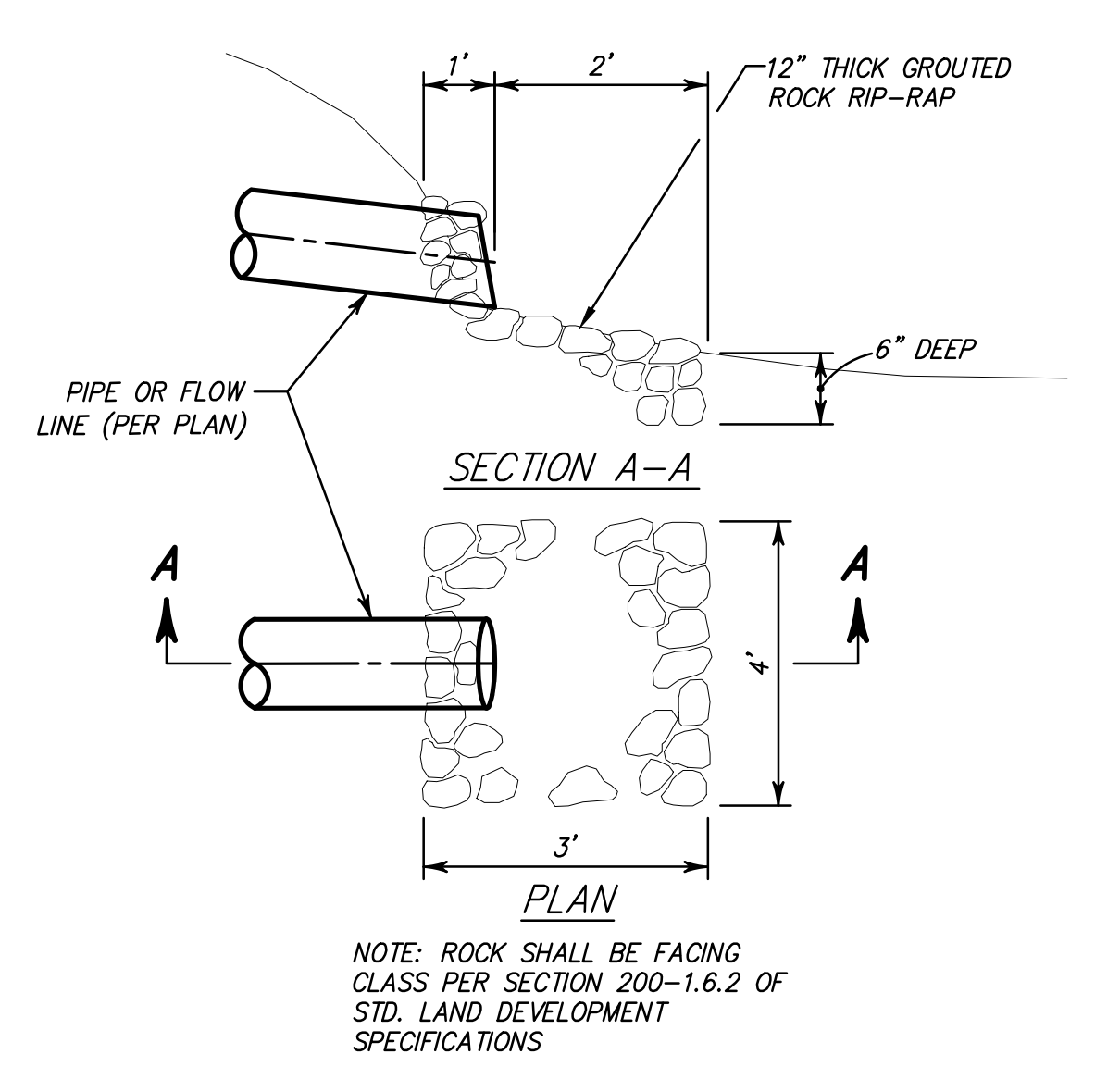
A4.1



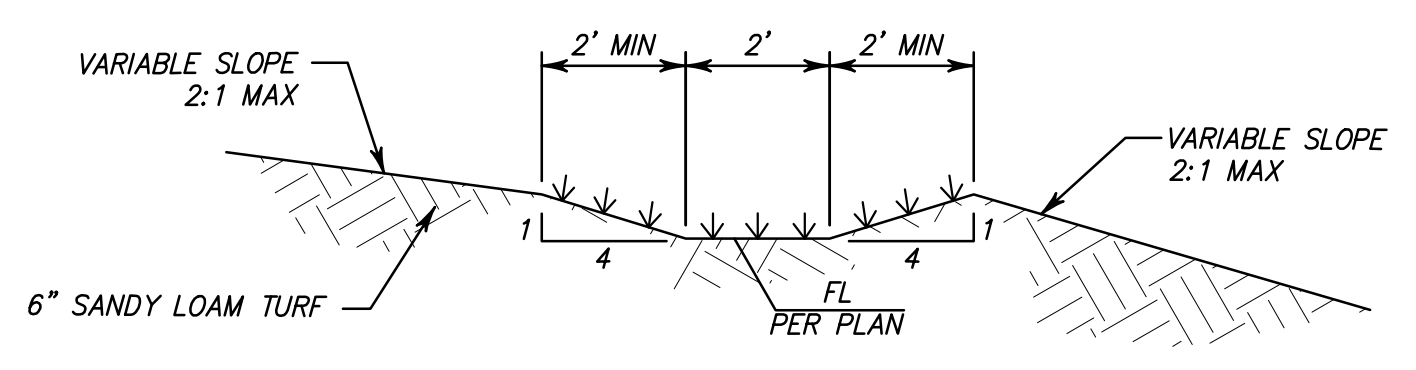
LEGEND

PROPOSED		EXISTING	
W	WATER	W	WATER
F	FIRE WATER	S	SEWER
S	SEWER	G	GAS
SD	STORM DRAIN	T	TELEPHONE
SM	SEWER MANHOLE	OHE	OVERHEAD ELEC.
SI	STORM INLET	WV	WATER VALVE
RR	RIP-RAP	FH	FIRE HYDRANT
FL	FLOWLINE	SL	STREET LIGHT
TS	TOP/TOE OF SLOPE	CL	CONTOUR LINE
RG	RIBBON GUTTER	SS	STREET SIGN
RW	RETAINING WALL		
CL	CONTOUR LINE		
DL	DAYLIGHT LINE		
F	FENCE		
C	CONCRETE		
AP	AC PAVING		
DG	DG PATH PER LANDSCAPE PLAN		

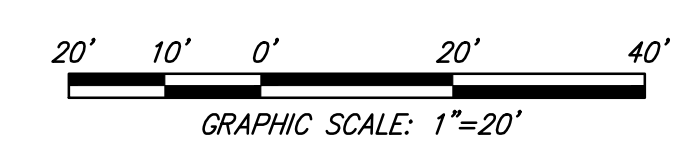
ABBREVIATIONS	
FS	FINISH SURFACE
FG	FINISH GRADE
INV	INVERT
TG	TOP OF GRATE
SW	SIDEWALK
EX	EXISTING
FL	FLOW LINE



A RIP-RAP OUTLET DETAIL
NOT TO SCALE



B BIOSWALE DETAIL
NOT TO SCALE



JENSEN DESIGN & SURVEY, INC.
a sorbel company

1672 DONLON STREET
VENTURA, CALIF. 93003
PHONE 805/654-6977
WEB WWW.JDCIVIL.COM

SCALE: AS NOTED J.N.: C0005.6750
DATE: 3/14/25 DWG. NAME: 6750-01_02-PGP.dwg

CONCEPT GRADING PLAN
FOR
OJAI DIGNITY MOVES

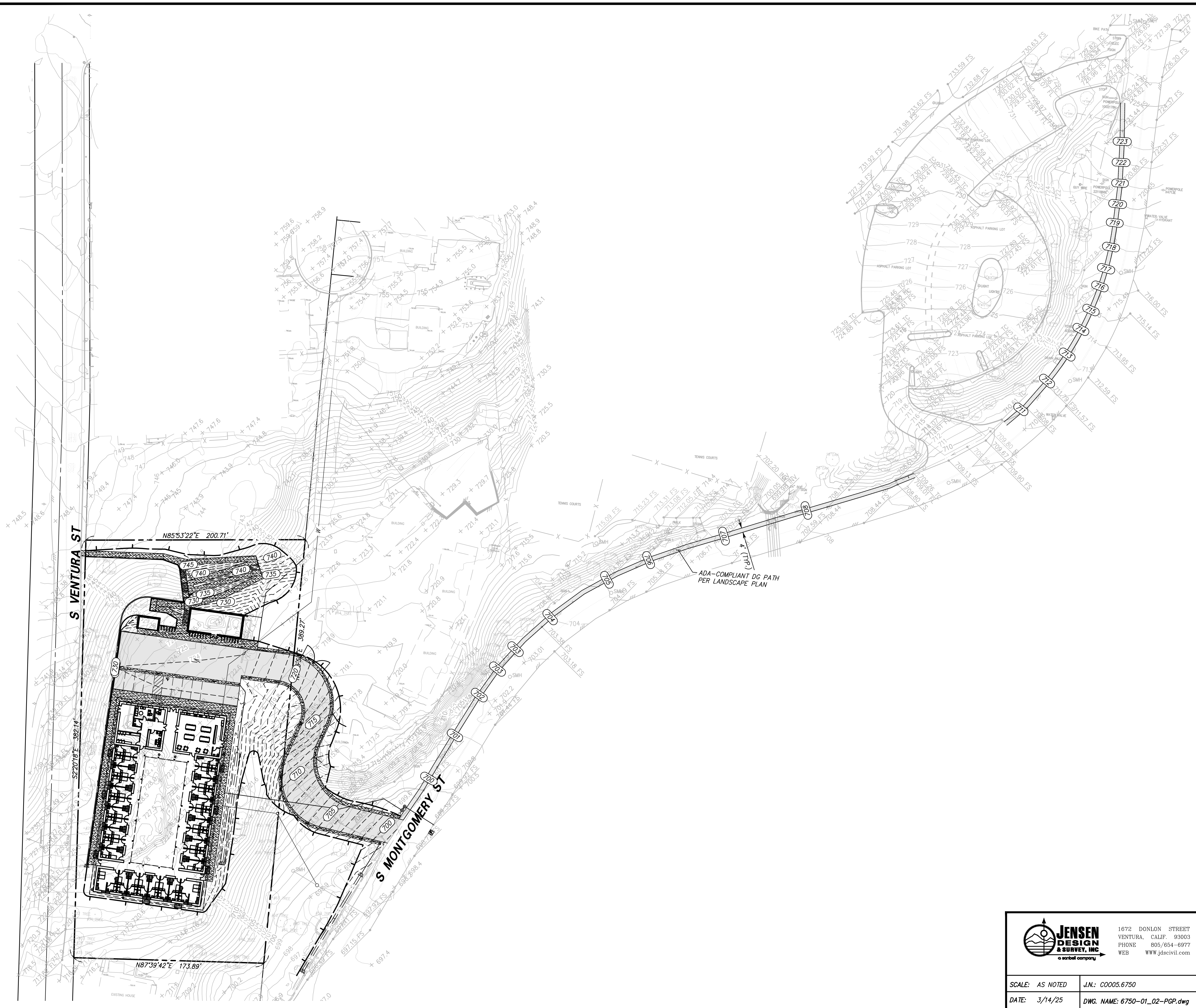
APN: 023-0-120-020
City of Ojai

COUNTY OF VENTURA STATE OF CALIFORNIA

SHEET 1 OF 2

Mar 14, 2025

C:\023025\023025\023025-01_02-PGP.dwg Mar 14, 2025 3:58pm

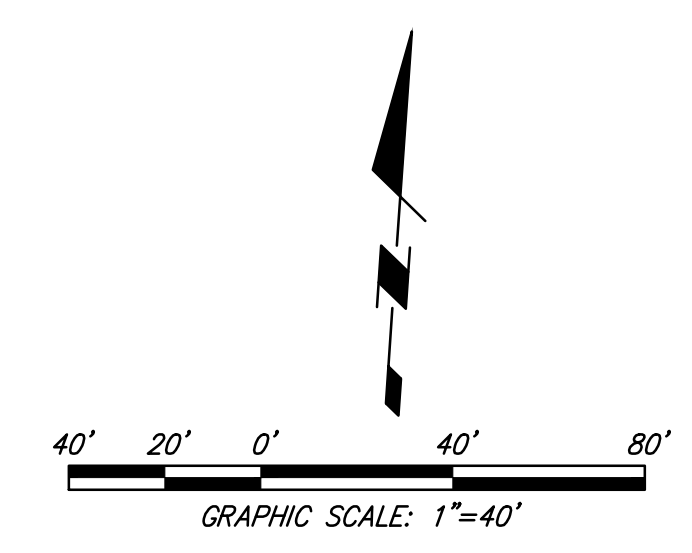


LEGEND

PROPOSED		EXISTING	
W	WATER	W	WATER
F	FIRE WATER	S	SEWER
S	SEWER	G	GAS
SD	STORM DRAIN	T	TELEPHONE
○	SEWER MANHOLE	OHE	OVERHEAD ELEC.
■	STORM INLET	⊗	WATER VALVE
▲	RIP-RAP	⊕	FIRE HYDRANT
→	FLOWLINE	⊙	STREET LIGHT
—	TOP/TOE OF SLOPE	10	CONTOUR LINE
▬	RIBBON GUTTER	⊖	STREET SIGN
▬	RETAINING WALL		
—(710)—	CONTOUR LINE		
▬	DAYLIGHT LINE		
□	FENCE		
▨	CONCRETE		
▩	AC PAVING		
▨	DG PATH PER LANDSCAPE PLAN		

ABBREVIATIONS

FS	FINISH SURFACE
FG	FINISH GRADE
INV	INVERT
TG	TOP OF GRATE
SW	SIDEWALK
EX	EXISTING
FL	FLOW LINE



JENSEN DESIGN & SURVEY, INC.
a sorbel company

1672 DONLON STREET
 VENTURA, CALIF. 93003
 PHONE 805/654-6977
 WEB WWW.JDS CIVIL.COM

SCALE: AS NOTED J.N.: C0005.6750
 DATE: 3/14/25 DWG. NAME: 6750-01_02-PGP.dwg

**CONCEPT GRADING PLAN
 FOR
 OJAI DIGNITY MOVES**

APN: 023-0-120-020
 City of Ojai

COUNTY OF VENTURA STATE OF CALIFORNIA

**SHEET
 2
 OF 2**

Mar 14, 2025

J:\023-0-120-020-02-PGP.dwg Mar 14, 2025, 3:41pm ccravis

PROJECT INFORMATION

APPLICANT INFORMATION:
PROJECT NAME: DIGNITY MOVES - CITY OF OJAI

PROJECT INFORMATION:
SITE ADDRESS: PUBLIC WORKS YARD, MONTGOMERY ST., OJAI CA 93023
APN: 023-0-120-020
ZONING: P-L ZONING
PROJECT TYPE: RESIDENTIAL

TOTAL LANDSCAPE AREA: 54,276 SF
TOTAL IRRIGATED LANDSCAPE AREA: 9,999 SF
TOTAL NON-IRRIGATED LANDSCAPE AREA: 43973 SF
TOTAL SPECIAL LANDSCAPE AREA: 304 SF



MWELO PROJECT INFORMATION
Model Water Efficient Landscape Ordinance

Applicant Information:
Name: KATHLEEN NOLAN / STUDIO LANDSCAPE CORP.
Phone: 805-646-8334
Address: 340 AVENIDA DE LA VEREDA, OJAI, CA. 93023
Email: kn@studio-landscape.com

Project:
Site Address: PUBLIC WORKS YARD MONTGOMERY ST., OJAI, CA. 93023
Project Type (new dwelling, commercial, or rehab): RESIDENTIAL

Currently, this project does not include landscaping. I am aware that future landscape installations may be required to comply with the Model Water Efficient Landscape Ordinance (MWELO) requirements per California Code of Regulations, Title 23, Division 2, Chapter 2.7.

This project does incorporate landscaping. (Please provide the information below specific to the landscape area which will be completed as part of this project and specify the compliance method to be used):
Total Landscape Area (sq. ft.): 54,276 Turf Area (sq. ft.): 1,223 SF
Non-Turf Plan Area (sq. ft.): 52,749 Special Landscape Area (sq. ft.): 304 SF
Water Type (potable, recycled, well): POTABLE
Name of water purveyor (if not served by private well): CASITAS MUNICIPAL WATER DISTRICT

Compliance Method
 Performance (Items included in Performance Checklist is included on plans)
 Prescriptive (Items included in Prescriptive Checklist is included on plans)

Signature
I certify the above information is correct and agree to comply with the requirements of the MWELO.
Kathleen Nolan 03/14/2025
Signature of property owner or authorized representative Date

401 South Ventura Street • Ojai, Ca 93023
(805) 646-5581 • fax: (805) 653-2236 • www.ojaicity.org
Page 4 of 4 Rev 01/2018

DIG ALERT 811 DIG ALERT CALL BEFORE YOU DIG

http://california811.org
UNDERGROUND SERVICE ALERT
9 THINGS TO REMEMBER

1. DELINEATE THE SITE. IT'S MANDATORY THAT YOU OUTLINE THE PROPOSED EXCAVATION SITE WITH WHITE PAINT OR STAKES.
2. DIAL BEFORE YOU DIG. IT'S THE LAW. NO MATTER WHAT SIZE JOB YOU PLAN, CALL BEFORE YOU EXCAVATE. THE LAW PROVIDES PENALTIES FOR THOSE WHO DO NOT COMPLY.
3. CALL AT LEAST TWO WORKING DAYS BEFORE. YOU MAY CALL 14 DAYS PRIOR TO EXCAVATION. BUT DON'T WAIT UNTIL THE LAST MINUTE!
4. YOU'RE RESPONSIBLE FOR DAMAGE. IF DAMAGE TO UNDERGROUND UTILITIES RESULTS FROM YOUR DIGGING, YOU MAY BE CHARGED THE COST OF REPAIRING IT - PLUS A FINE.
5. MAKE ONLY ONE CALL. THAT'S ALL IT TAKES TO HAVE ALL UNDERGROUND LINES ON YOUR SITE LOCATED AND MARKED BEFORE YOU DIG.
6. THE CALL COSTS YOU NOTHING. THERE'S NO CHARGE TO CALL THE TOLL-FREE 800 NUMBER.
7. CALLING SAVES TIME. THE DIGALERT PROCESS HELPS EXPEDITE YOUR PROJECT BY ELIMINATING ANY SEARCHING FOR UNDERGROUND UTILITIES.
8. EVERYONE SHOULD CALL - NOT JUST PROFESSIONALS. CALLING IS JUST AS IMPORTANT FOR PROPERTY OWNERS AS IT IS FOR PLUMBERS, ELECTRICIANS, CONTRACTORS, LANDSCAPERS, SWIMMING POOL BUILDERS OR ANYONE ELSE.
9. YOUR PERMIT IS NOT VALID WITHOUT A DIGALERT NUMBER. AN EXCAVATION PERMIT DOESN'T MEAN YOU'RE FREE OF RESPONSIBILITY FOR DAMAGE TO UNDERGROUND UTILITIES. MAKE SURE YOU OBTAIN AN UNDERGROUND SERVICE ALERT/DIGALERT NUMBER BY CALLING.

TREE PERMIT (T 25-XXX)

SEE ARBORIST REPORT & TREE PROTECTION PLAN FOR REQUIREMENTS.

SHEET INDEX

- L-0 TITLE SHEET
- L-1 EXISTING CONDITIONS & DEMO PLAN
- L-2 LANDSCAPE SITE PLAN
- L-3 LANDSCAPE SITE PLAN
- L-4 COURTYARD SITE PLAN & IMAGERY
- L-5 LANDSCAPE MATERIALS IMAGERY
- L-6 SUSTAINABILITY MEASURES
- L-7 LANDSCAPE LIGHTING PLAN
- L-8 LANDSCAPE LIGHTING PLAN
- L-9 LANDSCAPE LIGHTING SPECIFICATIONS
- L-10 TREE PROTECTION PLAN
- L-11 TREE PROTECTION PLAN

DEFENSIBLE SPACE ZONES

ZONE 0 (0-5' FROM STRUCTURE)

ZONE 1 (5-30' FROM STRUCTURE)

ZONE 2 (30-100' FROM STRUCTURE)

LANDSCAPE CONCEPT

THE LANDSCAPE CONCEPT FEATURES A SAFE, SUSTAINABLE, AND HOME-LIKE SETTING OFFERING FLEXIBILITY AND OPPORTUNITIES FOR MULTI USES.

THE EXTERIOR LANDSCAPE BEYOND THE PRIMARY RESIDENCE FEATURES PROTECTING THE NATIVE OAK TREES, THE NATURAL NEIGHBORHOOD CHARACTER OF LOWER MONTGOMERY STREET AND THE EXISTING GRADES. THE PLANT MATERIAL SELECTED AND PLACED BY ZONES MEETS THE DEFENSIBLE SPACE REQUIREMENTS, WILL BE CLIMATE AND MAINTENANCE APPROPRIATE AND WILL MEET MWELO REQUIREMENTS.

THE PRIMARY FOCUS AND USE AREA FOR THE RESIDENTS IS THE INTERIOR CLOISTER GARDEN INSPIRED CENTRAL COURTYARD WHICH PROVIDES SEMI-PRIVATE INDIVIDUAL AND GROUP USE AREAS FOR BOTH RESIDENTS, STAFF, AND VISITORS.

THE COURTYARD FEATURES PERMEABLE PAVERS FOR STORMWATER INFILTRATION, A CENTRALLY LOCATED FRUITLESS OLIVE FOR YEAR-ROUND SHADE, BUILT-IN RAISED GROWING BEDS FOR EDIBLE VEGETABLES, HERBS, AND FLOWER SELECTIONS TO BE MADE BY THE RESIDENTS, RAISED PLANTERS WITH EDIBLE FRUIT TREES THAT DOUBLE AS A CASUAL SEATING EDGE AND A SUNNY LAWN AREA FOR LOUNGING AND OUTDOOR EXERCISES OR SIMILAR.

THE PROPOSED MOVEABLE SITE FURNISHINGS IN THE OUTDOOR DINING AND SEATING AREA ARE DIAGRAMMATIC AND SHOWN FOR REFERENCE ONLY. BECAUSE THE FURNITURE IS MOVEABLE, THE LAYOUT IS SCALABLE WHILE SPACIOUS ENOUGH TO ALLOW ADA ACCESS TO MEET THE RESIDENTS' NEEDS ALONG WITH AMPLE ROOM FOR PORTABLE ACCESSORIES SUCH A BARBEQUE, FOR EXAMPLE.

SITE IMPROVEMENTS FEATURE A NEW COMPLIANT ADA PAVED RAMP FROM THE STREET TO THE RESIDENTIAL BUILDING, SITE PARKING, A TRASH ENCLOSURE, A TOOL SHED FOR GARDENING TOOLS AND PORTABLE SITE AMENITIES, A SHARED BIKE RACK, AND A DOG RELIEF AREA. A PERMEABLE DECOMPOSED GRANITE SIDEWALK ON MONTGOMERY STREET CONNECTS TO THE OJAI VALLEY TRAIL AND DOWNTOWN AMENITIES, GENERAL SERVICES AND PUBLIC TRANSPORTATION. A 6' METAL FENCE WITH A MATT BRONZE FINISH WILL CONNECT TO EXISTING FENCING TO DELINEATE THE EXTERIOR SPACE FROM THE PUBLIC WORKS YARD AND TO PROVIDE PARTIAL SEPARATION ON THE EAST SIDE OF THE PROPERTY.

ROOF AND HARDSCAPE RUNOFF ARE DIRECTED TO THE LANDSCAPE FOR INFILTRATION INTO BIOSWALES AND WILL REDUCE IRRIGATION REQUIREMENTS.

LIGHTING IN THE COURTYARD FEATURES LOW VOLTAGE LED SHADED ARCHITECTURAL STRING LIGHTS OVER THE DINING AND SEATING AREA UNDER THE CENTRAL OLIVE.
LIGHTING AT THE ADA RAMP FROM THE STREET TO THE BUILDING AND PARKING AREA FEATURES A LOW VOLTAGE, LED BOLLARD. BOTH MEET DARK SKY ORDINANCE REQUIREMENTS WITH A MATT BRONZE FINISH.

IRRIGATION WILL BE OPERATED BY A SMART CONTROLLER, WILL BE LOW VOLTAGE, AND WILL MEET MWELO REQUIREMENTS.

PROJECT CONTACT LIST

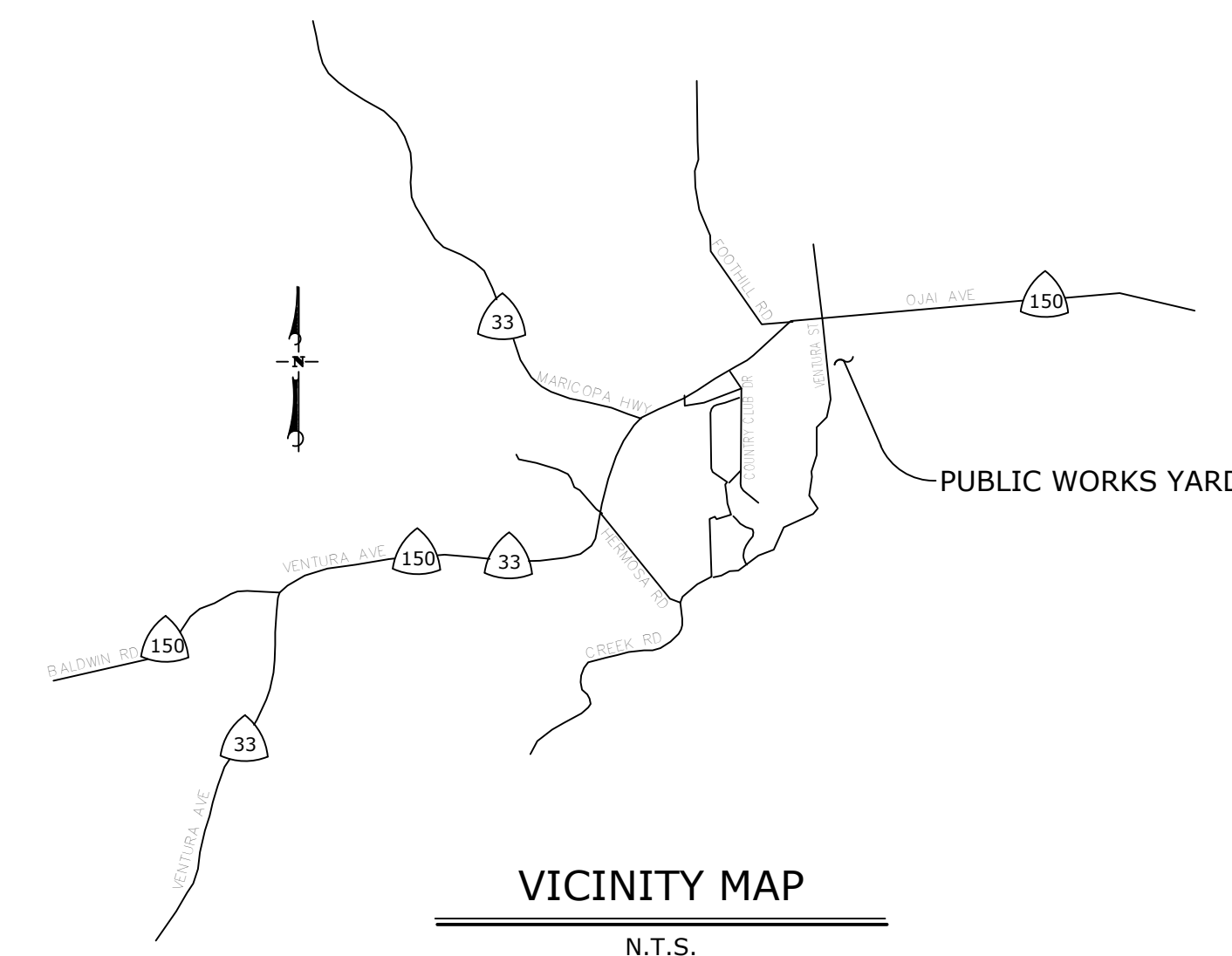
OWNER APPLICANT
CITY OF OJAI
LUCAS SEIBERT
COMMUNITY DEVELOPMENT DIRECTOR
805.646.5581
lucas.seibert@ojai.ca.gov

DEVELOPER
DIGNITY MOVES
MAUREEN BOYER
VP OF INNOVATIVE DESIGN
415.246.3510
maureen@dignitymoves.org

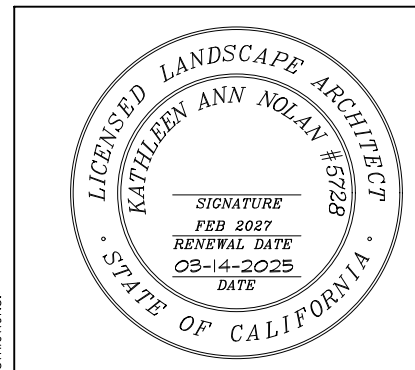
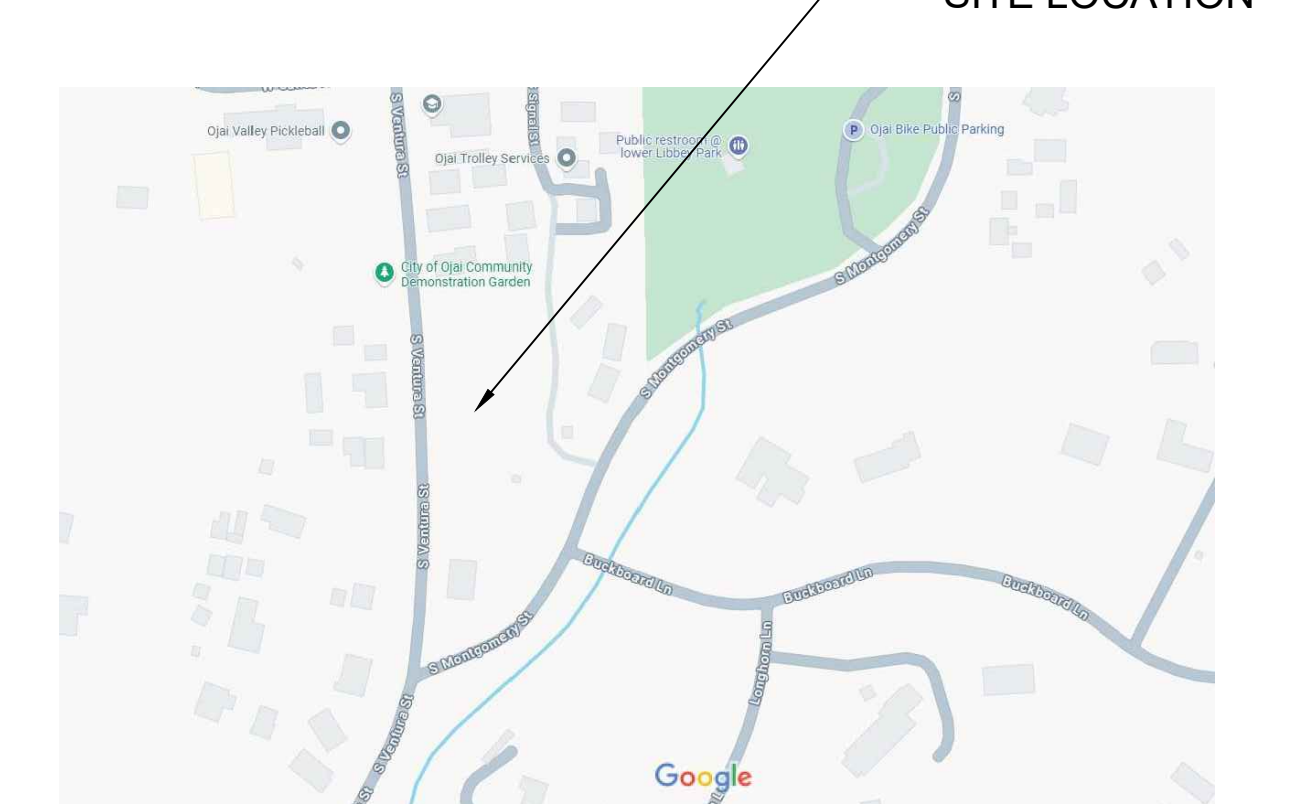
LANDSCAPE ARCHITECT
STUDIO LANDSCAPE CORPORATION
KATHLEEN NOLAN, PLA, ASLA
805.646.8384
kn@studio-landscape.com

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DYLAN JOHNSON, AIA
206.459.7027
dylan@djaarchitects.com

CIVIL ENGINEER
JENSEN
SUSAN COOPER, PE
1672 DONLON ST.
VENTURA, CA. 93003
808.633.2225
scopper@dcivil.com



LOCATION MAP



STUDIO LANDSCAPE CORPORATION
KATHLEEN NOLAN, PLA, ASLA
340 Avenida de la Vereda
Ojai, CA 93023
tel: 805.646.8384
email: kn@studio-landscape.com
www.studio-landscape.com



DIGNITY MOVES
OJAI PERMANENT SUPPORTIVE HOUSING
PUBLIC WORKS YARD
MONTGOMERY ST., OJAI, CA. 93023
APN # 023-0-120-020

TITLE SHEET

REVISIONS	
NAME	DATE
DRP SUBMITTAL	02/04/25
DRP SUBMITTAL	03/14/25

PHASE DESIGN REVIEW PERMIT

JOB NUMBER: 25-01DM
ORIGIN DATE 01.03.25
PLOT DATE 03.14.25
DRAWN BY: KD
CHECKED BY: KN

SHEET 1 OF 12

L-0

PROGRESS PRINT, NOT FOR CONSTRUCTION



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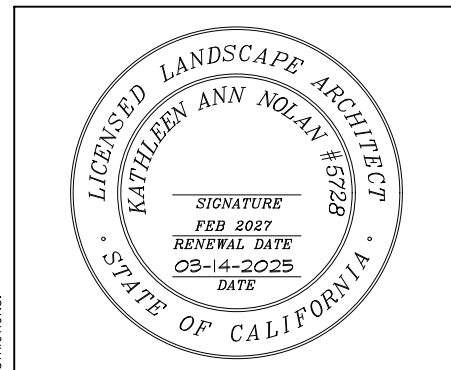
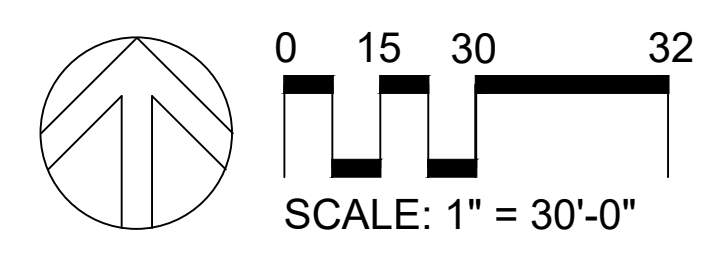
SURVEY INFORMATION:
 HENRY LAND SURVEYING, INC.
 619 CRESTVIEW DRIVE
 OJAI, CA 93023
 (805) 216-6124
 09/17/2024

DEMOLITION KEY NOTES:

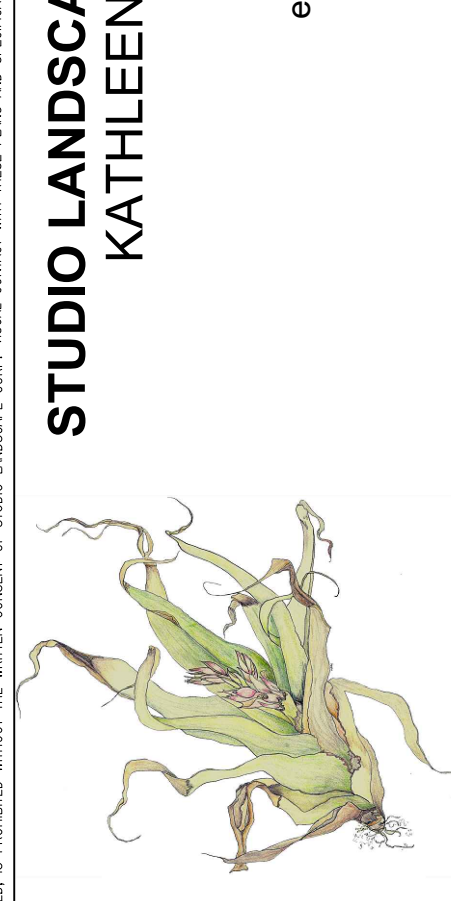
- 1 REMOVE BRUSH & WEEDS (SMILO GRASS, MUSTARD, THISTLE SPECIES)
 BARB WIRE FENCING (LEAVE OR REMOVE)
- 3 REMOVE ASPHALT
- 4 NON-PROTECTED MISCELLANEOUS SHRUBS (PRIVET, OLEANDER)
- 5 NON PROTECTED MISCELLANEOUS TREES
- 6 ALL PUBLIC WORKS STORED MATERIALS, EQUIPMENT, WASTE
- 7 MISCELLANEOUS SITE DEBRIS

PROTECT KEY NOTES:

- 1 EXISTING OAKS, SEE ARBORIST REPORT
- 2 EXISTING CHAIN LINK FENCING
- 3 EXISTING UTILITIES (NOT SHOWN)



STUDIO LANDSCAPE CORPORATION
 KATHLEEN NOLAN, PLA, ASLA
 340 Avenida de la Vereda
 Ojai, CA 93023
 tel: 805.646.8384
 email: kn@studio-landscape.com
 www.studio-landscape.com



DIGNITY MOVES
 OJAI PERMANENT SUPPORTIVE HOUSING
 PUBLIC WORKS YARD
 MONTGOMERY ST., OJAI, CA - 93023
 APN # 023-0-120-020

EXISTING CONDITIONS PLAN

REVISIONS	
NAME	DATE
DRP SUBMITTAL	02/04/25
DRP SUBMITTAL	03/14/25

PHASE
 DESIGN REVIEW PERMIT

JOB NUMBER: 25-01DM
 ORIGIN DATE 01.03.25
 PLOT DATE 03.14.25
 DRAWN BY: KD
 CHECKED BY: KN

SHEET 2 OF 12

L-1

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S VENTURA ST

30' DEFENSIBLE SPACE

30' DEFENSIBLE SPACE

30' DEFENSIBLE SPACE

30' DEFENSIBLE SPACE

30' DEFENSIBLE SPACE

100' DEFENSIBLE SPACE

30' DEFENSIBLE SPACE

5' DEFENSIBLE SPACE

5' DEFENSIBLE SPACE

5' DEFENSIBLE SPACE

30' DEFENSIBLE SPACE

30' DEFENSIBLE SPACE

30' DEFENSIBLE SPACE

30' DEFENSIBLE SPACE

30' DEFENSIBLE SPACE

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30' DEFENSIBLE SPACE

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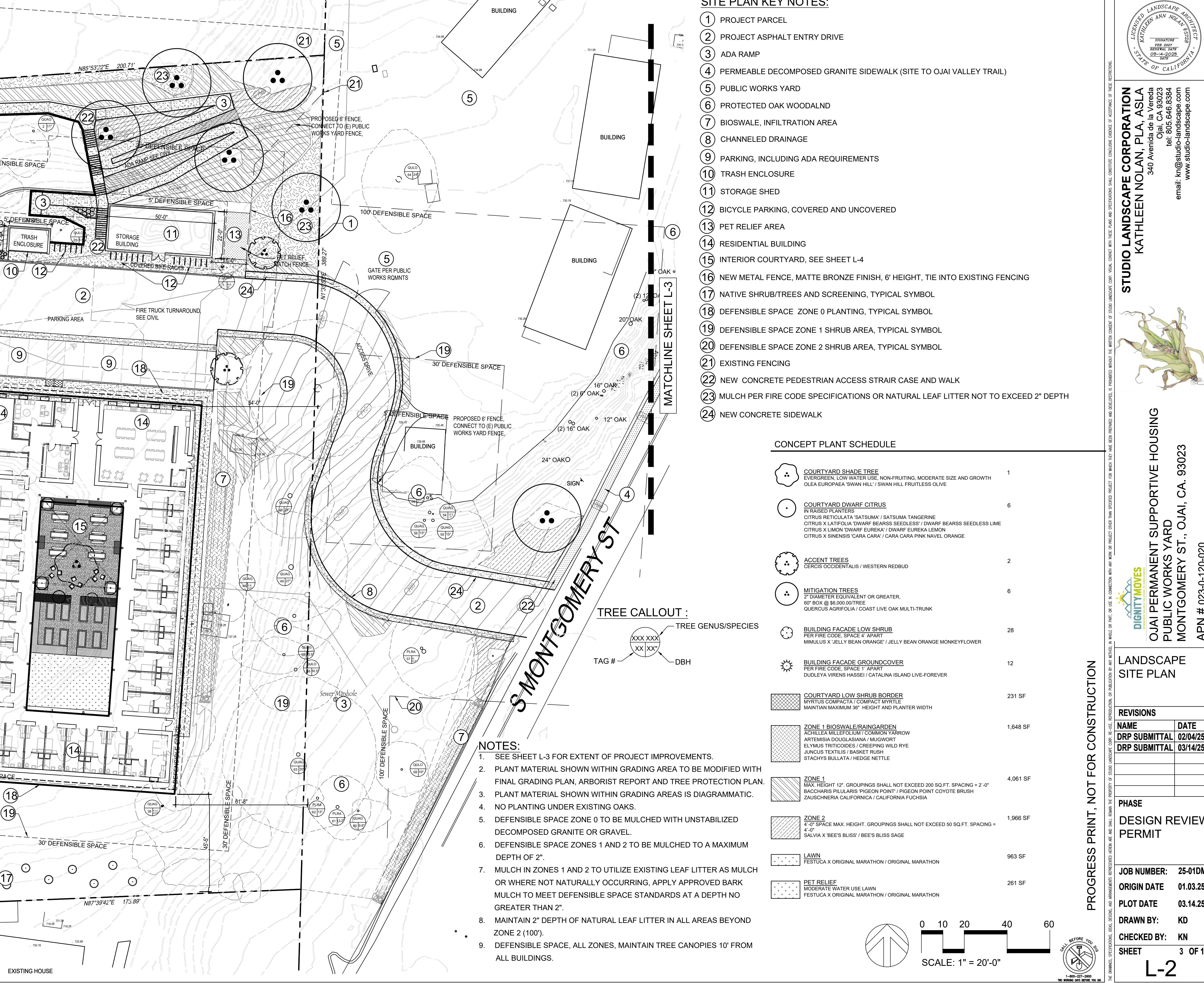
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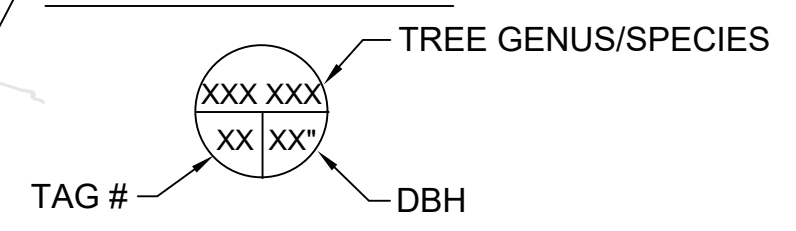
SITE PLAN KEY NOTES:

- ① PROJECT PARCEL
- ② PROJECT ASPHALT ENTRY DRIVE
- ③ ADA RAMP
- ④ PERMEABLE DECOMPOSED GRANITE SIDEWALK (SITE TO OJAI VALLEY TRAIL)
- ⑤ PUBLIC WORKS YARD
- ⑥ PROTECTED OAK WOODLAND
- ⑦ BIOSWALE, INFILTRATION AREA
- ⑧ CHANNELED DRAINAGE
- ⑨ PARKING, INCLUDING ADA REQUIREMENTS
- ⑩ TRASH ENCLOSURE
- ⑪ STORAGE SHED
- ⑫ BICYCLE PARKING, COVERED AND UNCOVERED
- ⑬ PET RELIEF AREA
- ⑭ RESIDENTIAL BUILDING
- ⑮ INTERIOR COURTYARD, SEE SHEET L-4
- ⑯ NEW METAL FENCE, MATTE BRONZE FINISH, 6' HEIGHT, TIE INTO EXISTING FENCING
- ⑰ NATIVE SHRUB/TREES AND SCREENING, TYPICAL SYMBOL
- ⑱ DEFENSIBLE SPACE ZONE 0 PLANTING, TYPICAL SYMBOL
- ⑲ DEFENSIBLE SPACE ZONE 1 SHRUB AREA, TYPICAL SYMBOL
- ⑲ DEFENSIBLE SPACE ZONE 2 SHRUB AREA, TYPICAL SYMBOL
- ⑲ EXISTING FENCING
- ⑲ NEW CONCRETE PEDESTRIAN ACCESS STRAIR CASE AND WALK
- ⑲ MULCH PER FIRE CODE SPECIFICATIONS OR NATURAL LEAF LITTER NOT TO EXCEED 2" DEPTH
- ⑲ NEW CONCRETE SIDEWALK

CONCEPT PLANT SCHEDULE

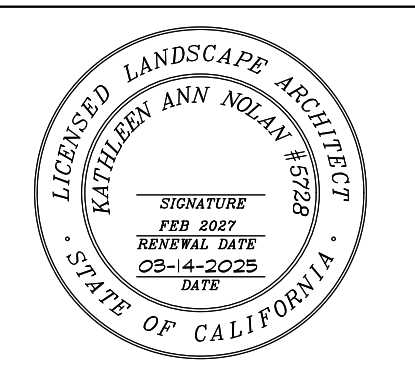
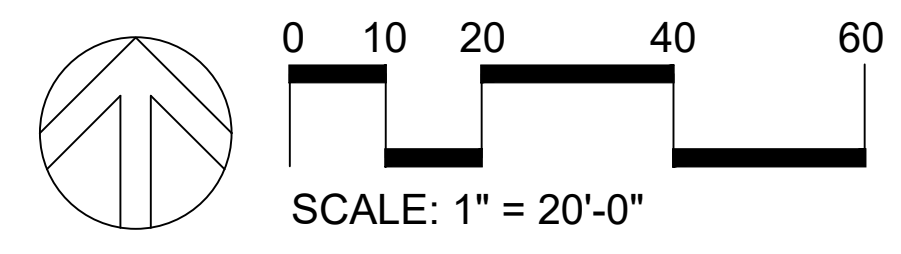
	COURTYARD SHADE TREE EVERGREEN, LOW WATER USE, NON-FRUITING, MODERATE SIZE AND GROWTH OLEA EUROPAEA 'SWAN HILL' / SWAN HILL FRUITLESS OLIVE	1
	COURTYARD DWARF CITRUS IN RAISED PLANTERS CITRUS RETICULATA 'SATSUMA' / SATSUMA TANGERINE CITRUS X LATIFOLIA 'DWARF BEARSS SEEDLESS' / DWARF BEARSS SEEDLESS LIME CITRUS X LIMON 'DWARF EUREKA' / DWARF EUREKA LEMON CITRUS X SINENSIS 'CARA CARA' / CARA CARA PINK NAVEL ORANGE	6
	ACCENT TREES CERCIS OCCIDENTALIS / WESTERN REDBUD	2
	MITIGATION TREES 2" DIAMETER EQUIVALENT OR GREATER, 60" BOX @ \$6,000/00/TREE QUERCUS AGRIFOLIA / COAST LINE OAK MULTI-TRUNK	6
	BUILDING FACADE LOW SHRUB PER FIRE CODE, SPACE 4 'APART' MIMULUS X 'JELLY BEAN ORANGE' / JELLY BEAN ORANGE MONKEYFLOWER	28
	BUILDING FACADE GROUNDCOVER PER FIRE CODE, SPACE 1 'APART' DUDLEYA VIRENS HASSEI / CATALINA ISLAND LIVE-FOREVER	12
	COURTYARD LOW SHRUB BORDER MYRTUS COMPACTA / COMPACT MYRTLE MAINTAIN MAXIMUM 36" HEIGHT AND PLANTER WIDTH	231 SF
	ZONE 1 BIOSWALE/RAINGARDEN ACHILLEA MILLEFOLIUM / COMMON YARROW ARTEMISIA DOUGLASSIANA / MUGWORT ELYMUS TRITICOIDES / CREEPING WILD RYE JUNCUS TEXTILIS / BASKET RUSH STACHYS BULLATA / HEDGE NETTLE	1,648 SF
	ZONE 1 MAX. HEIGHT 12", GROUPINGS SHALL NOT EXCEED 200 SQ.FT. SPACING = 2'-0" BACCHARIS PILULARIS 'PIGEON POINT' / PIGEON POINT COYOTE BRUSH ZAUSCHNERIA CALIFORNICA / CALIFORNIA FUCHSIA	4,061 SF
	ZONE 2 4'-0" SPACING MAX. HEIGHT, GROUPINGS SHALL NOT EXCEED 50 SQ.FT. SPACING = 4'-0" SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE	1,966 SF
	LAWN FESTUCA X ORIGINAL MARATHON / ORIGINAL MARATHON	963 SF
	PET RELIEF MODERATE WATER USE LAWN FESTUCA X ORIGINAL MARATHON / ORIGINAL MARATHON	261 SF

TREE CALLOUT :



NOTES:

1. SEE SHEET L-3 FOR EXTENT OF PROJECT IMPROVEMENTS.
2. PLANT MATERIAL SHOWN WITHIN GRADING AREA TO BE MODIFIED WITH FINAL GRADING PLAN, ARBORIST REPORT AND TREE PROTECTION PLAN.
3. PLANT MATERIAL SHOWN WITHIN GRADING AREAS IS DIAGRAMMATIC.
4. NO PLANTING UNDER EXISTING OAKS.
5. DEFENSIBLE SPACE ZONE 0 TO BE MULCHED WITH UNSTABILIZED DECOMPOSED GRANITE OR GRAVEL.
6. DEFENSIBLE SPACE ZONES 1 AND 2 TO BE MULCHED TO A MAXIMUM DEPTH OF 2".
7. MULCH IN ZONES 1 AND 2 TO UTILIZE EXISTING LEAF LITTER AS MULCH OR WHERE NOT NATURALLY OCCURRING, APPLY APPROVED BARK MULCH TO MEET DEFENSIBLE SPACE STANDARDS AT A DEPTH NO GREATER THAN 2".
8. MAINTAIN 2" DEPTH OF NATURAL LEAF LITTER IN ALL AREAS BEYOND ZONE 2 (100').
9. DEFENSIBLE SPACE, ALL ZONES, MAINTAIN TREE CANOPIES 10' FROM ALL BUILDINGS.



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 APN # 023-0-120-020

LANDSCAPE SITE PLAN

REVISIONS

NAME	DATE
DRP SUBMITTAL	02/04/25
DRP SUBMITTAL	03/14/25

PHASE
DESIGN REVIEW PERMIT

JOB NUMBER: 25-01DM
ORIGIN DATE 01.03.25
PLOT DATE 03.14.25
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CHECKED BY: KN
SHEET 3 OF 12

L-2

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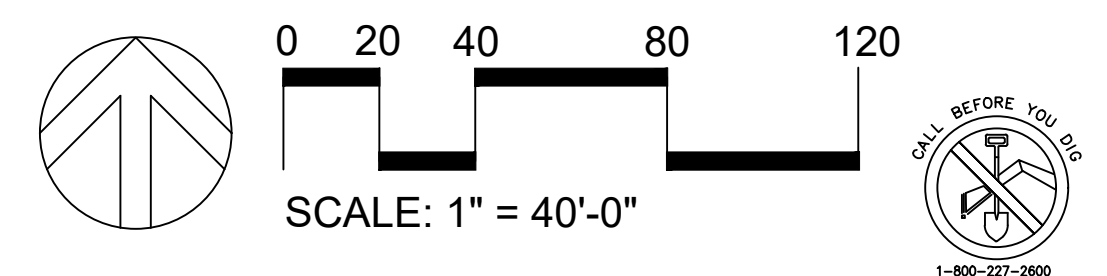


SITE PLAN KEY NOTES:

- ① PROJECT PARCEL
- ② PROJECT ENTRY DRIVE
- ③ CONCRETE SIDEWALK
- ④ PERMEABLE DECOMPOSED GRANITE SIDEWALK (SITE TO OJAI VALLEY TRAIL)
- ⑤ PUBLIC WORKS YARD
- ⑥ OJAI VALLEY TRAIL
- ⑦ PROTECTED OAK WOODLAND
- ⑧ LIBBEY PARK LOWER TENNIS COURTS
- ⑨ LIBBEY PARK ENTRY STEPS TO LOWER TENNIS COURTS
- ⑩ ENTRY DRIVE TO LOWER LIBBEY PARK PARKING
- ⑪ LOWER LIBBEY PARK PARKING

NOTES:

1. SEE SHEET THIS SHEET I-3 ,FOR EXTENT OF PROJECT IMPROVEMENTS.
2. PLANT MATERIAL SHOWN WITHIN GRADING AREA TO BE MODIFIED WITH FINAL GRADING PLAN, ARBORIST REPORT AND TREE PROTECTION PLAN.
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LANDSCAPE SITE PLAN

REVISIONS	
NAME	DATE
DRP SUBMITTAL	02/04/25
DRP SUBMITTAL	03/14/25

PHASE
DESIGN REVIEW PERMIT

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DRAWN BY:	KD
CHECKED BY:	KN
SHEET	4 OF 12

L-3



- 1 CENTRAL COURTYARD
- 2 CENTRAL SHADE TREE
- 3 MOVEABLE OUTDOOR DINING
- 4 COMMUNITY GARDENING: RAISED PLANTERS, SMOOTH PLASTER FINISH TO MATCH BUILDING, 18" HT
- 5 OUTDOOR SEATING W/ MOVEABLE CHAIRS
- 6 PERENNIAL HERB BEDS
- 7 PERMEABLE PAVERS
- 8 ARCHITECTURAL STRING LIGHTS WITH SHADE
- 9 LAWN
- 10 LOW SHRUB BORDER
- 11 18" HT RAISED PLANTER/CASUAL SEATING W/ DWARF CITRUS TREE



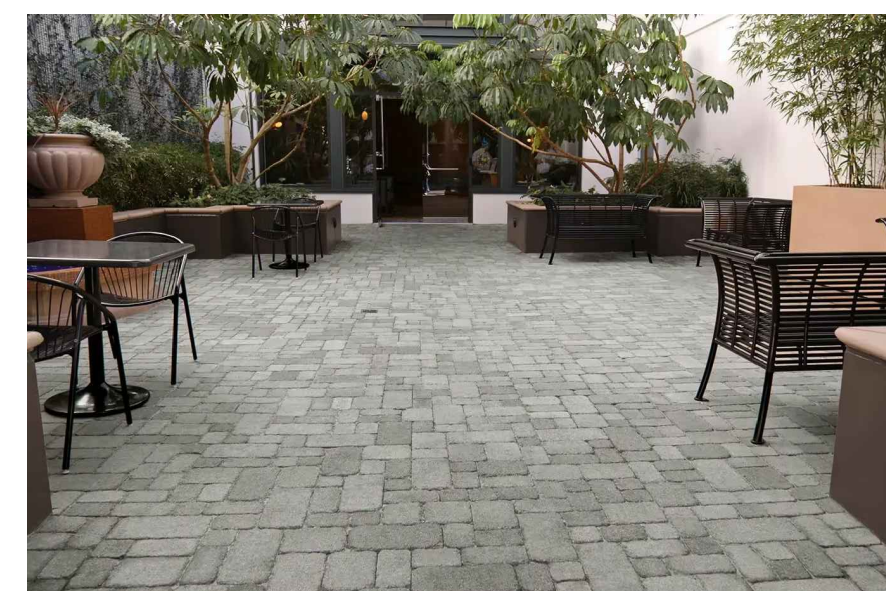
COURTYARD OLIVE



CLOISTER GARDEN MISSION SAN LUIS REY



CLOISTER MUSEUM GARDEN



PERMEABLE PAVERS
COLOR: TERRA COTTA
FINISH: ANTIQUE TUMBLE



TERRA COTTA PERMEABLE PAVERS



ARCHITECTURAL STRING LIGHTS W/ SHADE MFG: LIGHTCRAFT
MODEL: PETAL SHADE



PETAL SHADE
MODEL BK-111-BZ
DIMENSIONS 7-1/2"W X 3"H
MATERIAL ALUMINUM
OUTSIDE FINISH BRONZE (BZ)
INSIDE FINISH WHITE REFLECTIVE



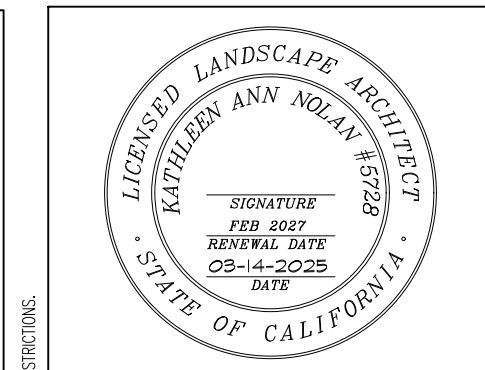
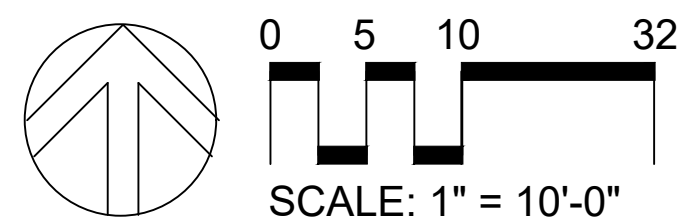
DWARF CITRUS TREE



RAISED EDIBLE BEDS



LOW SHRUBS



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COURTYARD SITE PLAN

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WE WORK WITH YOU TO SAVE YOU

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SUSTAINABLE SITE DESIGN

OVERALL SUSTAINABILITY MEASURES

SITE DESIGN: Resiliency through a whole systems approach

- Protect existing oaks
- Sensitive siting of structures and materials
- Minimal grading
- Stormwater capture (bioswales, raingardens & irrigation)

WATER, SOIL + CLIMATE: Regenerative design strategies

- Minimize albedo/heat island affect (shade trees, structures + materials)
- Climate appropriate plant material to minimize water use & maintenance
- Smart irrigation controller and water efficient system
- Build soil sponge/soil water holding capacity in planted areas
- Apply mulch in open areas for soil protection, weed suppression & H2O retention

HABITAT: Building native plant communities

- Protect existing oaks
- California native plant species
- Pollinator plants to support friendly wildlife

FIRE SMART LANDSCAPING: Selection, placement + maintenance

- Zoning & defensible space design
- Fire resistant materials
- Fire wise plant selection, placement & spacing
- Vegetation management

MATERIALS + ENERGY: Efficient design systems

- Permeable surfaces (permeable pavers, bark mulch)
- Low voltage, Dark Sky Compliant LED landscape lighting

COMMUNITY + CIRCULATION: Valuing natural features of site

- Community gardening w/ edible beds + fruit trees
- Small + large gathering areas
- Bicycle parking
- Connection to street, services, amenities and transportation
- Site wide ADA accessible path
- Shaded sidewalk, maintain existing oak trees

BIOSWALE AND RAINGARDENS



NATIVE SPECIES AND POLLINATOR PLANTS



SITE DESIGN



ACCESSIBLE PATHS



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SUSTAINABILITY MEASURES

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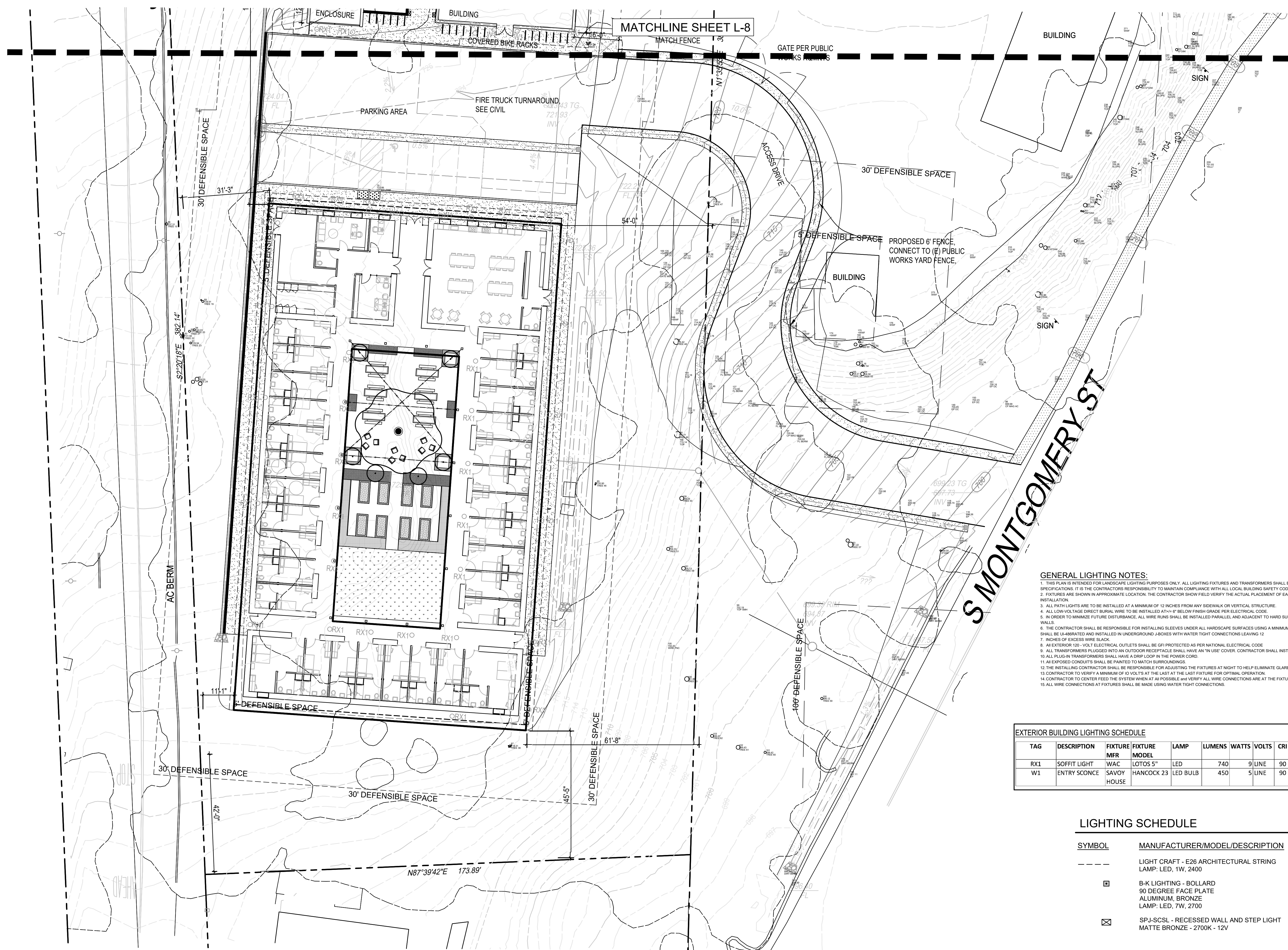
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SHEET 7 OF 12

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- GENERAL LIGHTING NOTES:**
- THIS PLAN IS INTENDED FOR LANDSCAPE LIGHTING PURPOSES ONLY. ALL LIGHTING FIXTURES AND TRANSFORMERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN COMPLIANCE WITH ALL LOCAL BUILDING SAFETY CODES AND ORDINANCES.
 - FIXTURES ARE SHOWN IN APPROXIMATE LOCATION. THE CONTRACTOR SHALL FIELD VERIFY THE ACTUAL PLACEMENT OF EACH FIXTURE UPON COMPLETION OF LANDSCAPE INSTALLATION.
 - ALL PATH LIGHTS ARE TO BE INSTALLED AT A MINIMUM OF 12 INCHES FROM ANY SIDEWALK OR VERTICAL STRUCTURE.
 - ALL LOW-VOLTAGE DIRECT BURIAL WIRE TO BE INSTALLED AT +6" BELOW FINISH GRADE PER ELECTRICAL CODE.
 - IN ORDER TO MINIMIZE FUTURE DISTURBANCE, ALL WIRE RUNS SHALL BE INSTALLED PARALLEL AND ADJACENT TO HARD SURFACES SUCH AS SIDEWALKS, DRIVEWAYS AND WALLS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVES UNDER ALL HARDSCAPE SURFACES USING A MINIMUM 1 INCH PVC PIPE. ALL UNDERGROUND SPLICES SHALL BE UNABRATED AND INSTALLED IN UNDERGROUND J-BOXES WITH WATER TIGHT CONNECTIONS LEAVING 12
 - INCHES OF EXCESS WIRE SLACK.
 - AN EXTERIOR 120 - VOLT ELECTRICAL OUTLETS SHALL BE GFI PROTECTED AS PER NATIONAL ELECTRICAL CODE.
 - ALL TRANSFORMERS PLUGGED INTO AN OUTDOOR RECEPTACLE SHALL HAVE AN "IN USE" COVER. CONTRACTOR SHALL INSTALL TAYMAC TYPE COVERS AT ALL OUTLETS.
 - ALL PUG-IN TRANSFORMERS SHALL HAVE A DRIP LOOP IN THE POWER CORD.
 - ALL EXPOSED CONDUITS SHALL BE PAINTED TO MATCH SURROUNDINGS.
 - THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE FIXTURES AT NIGHT TO HELP ELIMINATE GLARE AND TO ENSURE OPTIMUM LIGHTING EFFECT.
 - CONTRACTOR TO VERIFY A MINIMUM OF 10 VOLTS AT THE LAST AT THE LAST FIXTURE FOR OPTIMAL OPERATION.
 - CONTRACTOR TO CENTER FEED THE SYSTEM WHEN AT ALL POSSIBLE AND VERIFY ALL WIRE CONNECTIONS ARE AT THE FIXTURES.
 - ALL WIRE CONNECTIONS AT FIXTURES SHALL BE MADE USING WATER TIGHT CONNECTIONS.

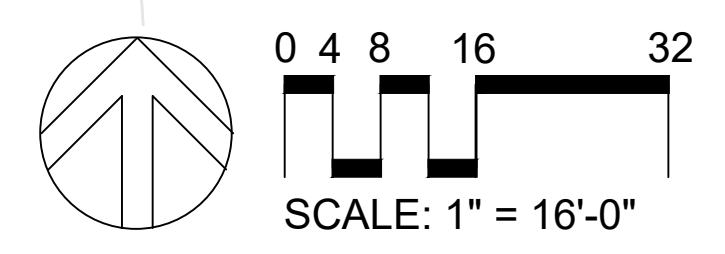
EXTERIOR BUILDING LIGHTING SCHEDULE

TAG	DESCRIPTION	FIXTURE MFR	FIXTURE MODEL	LAMP	LUMENS	WATTS	VOLTS	CRI	COLOR TEMP	FINISH	MOUNTING INFO
RX1	SOFFIT LIGHT	WAC	LOTOS 5"	LED	740	9	LINE	90	3000K	BLACK	18" FROM WALL
W1	ENTRY SCENCE HOUSE	SAVOY	HANCOCK 23	LED BULB	450	5	LINE	90	2700K	BRONZE	90" TO TOP OF FIXTURE

LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
---	LIGHT CRAFT - E26 ARCHITECTURAL STRING LAMP: LED, 1W, 2400	200LF	
□	B-K LIGHTING - BOLLARD 90 DEGREE FACE PLATE ALUMINUM, BRONZE LAMP: LED, 7W, 2700	40	
⊗	SPJ-SCSL - RECESSED WALL AND STEP LIGHT MATTE BRONZE - 2700K - 12V	48	

- LIGHTING NOTES:**
- ALL PROPOSED EXTERIOR LIGHTING TO MEET DARK SKY CODE COMPLIANCE.
 - LIGHTING FIXTURE LOCATIONS SHOWN ARE DIAGRAMMATIC ONLY.
 - ALL LANDSCAPE LIGHTING TO BE LOW VOLTAGE LED LAMPS.
 - ALL EXTERIOR BUILDING WALL SCONCES AND SOFFITTS TO BE 120V.
 - FINAL SELECTIONS PER CITY OF OJAI APPROVAL.



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